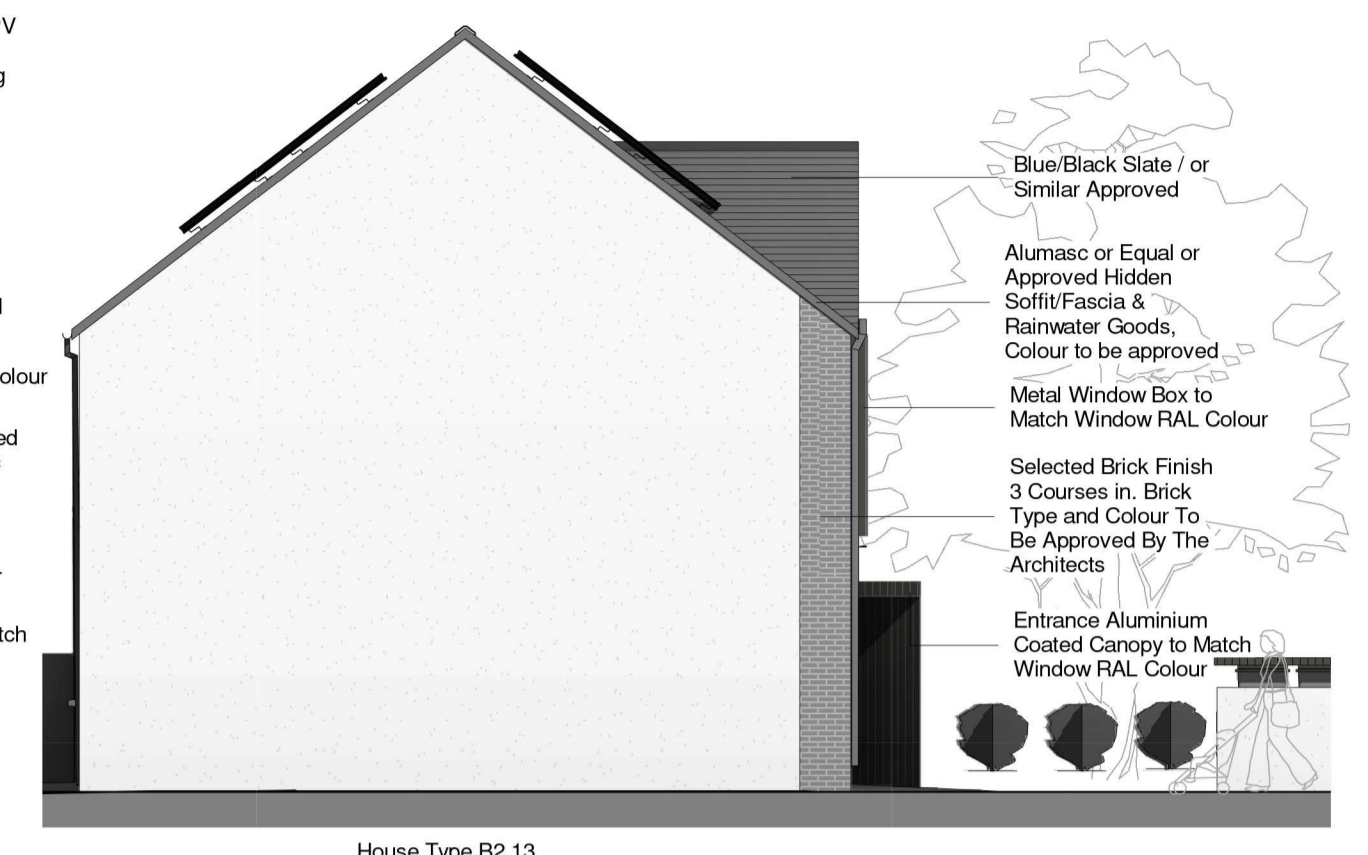


2 Block 4.5 - First Floor Plan  
1:100



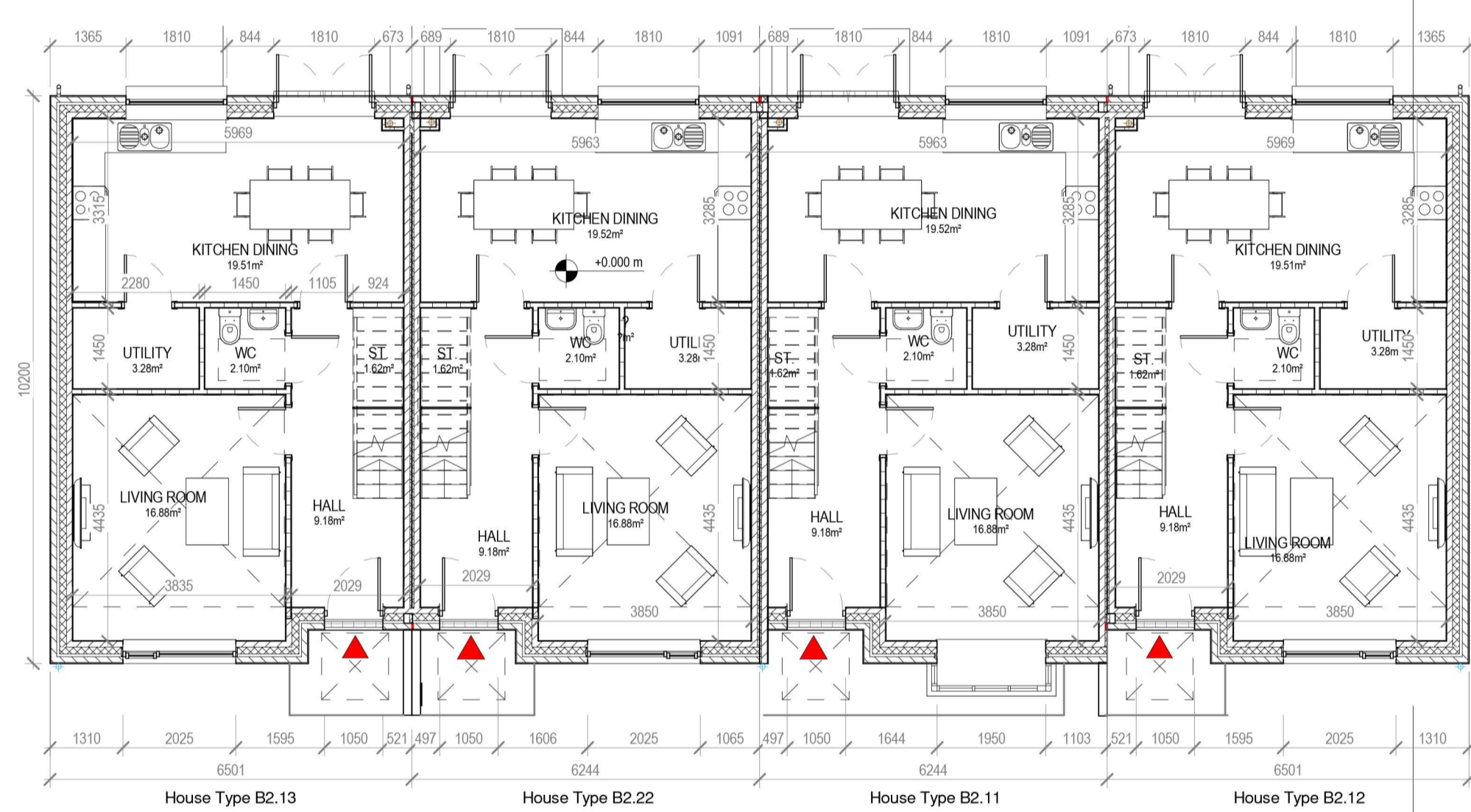
3 Block 4.5 - Front Elevation  
1:100



5 Block 4.5 - Side Elevation 1  
1:100

Size and Position of PV Panels May Vary with Orientation of Dwelling  
Blue/Black Slate / or Similar Approved  
Alumasc or Equal or Approved Hidden Soffit/Fascia & Rainwater Goods, Colour to be approved  
Metal Window Box to Match Window RAL Colour  
uPVC Double Glazed Window to be Approved Design. Refer to Spec for U-Value etc.  
Straight Edged Coated Aluminium Cill to Match Window RAL Colour  
Entrance Aluminium Coated Canopy to Match Window RAL Colour  
Selected Brick Finish to Outer Leaf Brick Type and Colour To Be Approved By The Architects

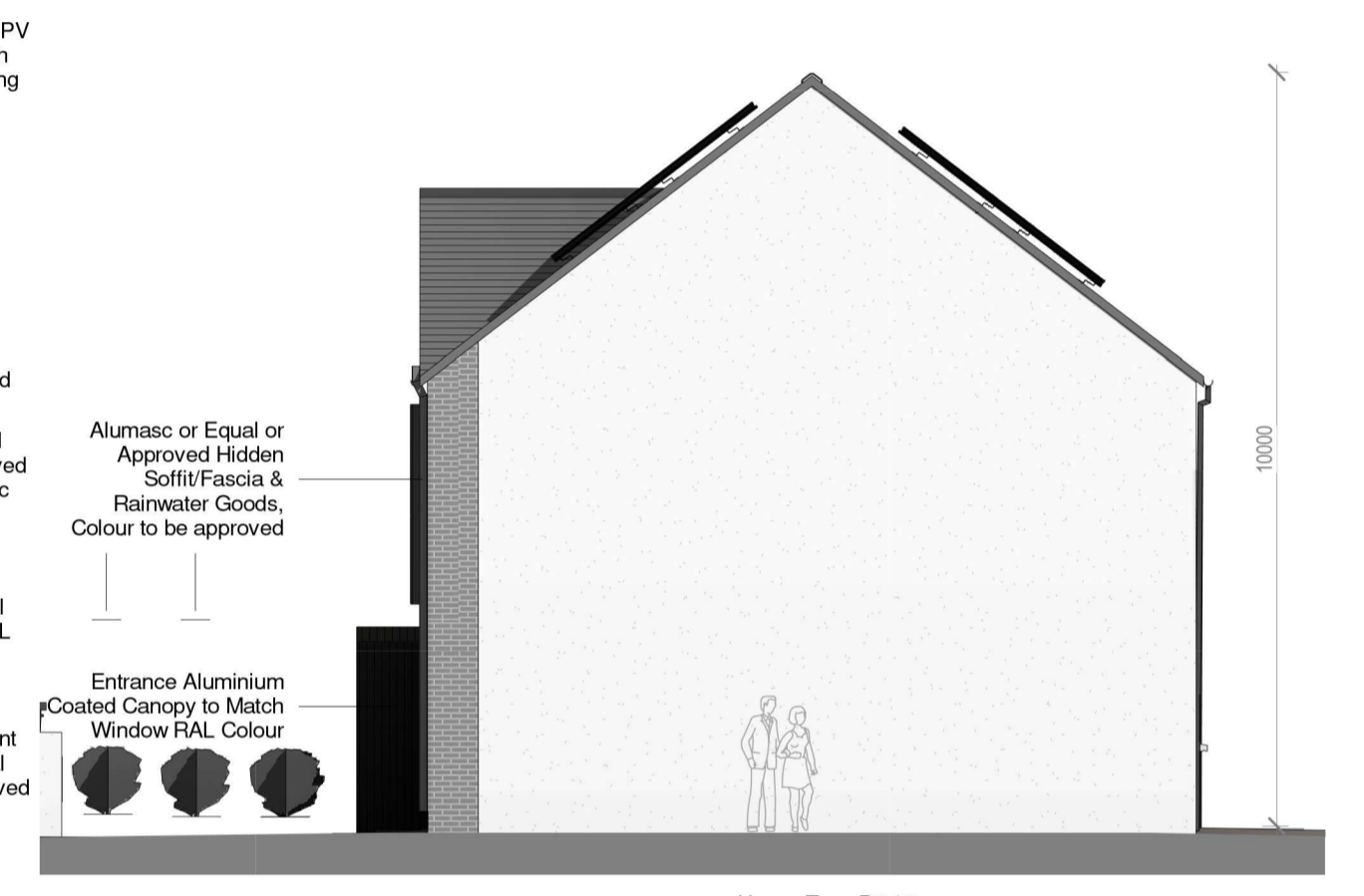
Blue/Black Slate / or Similar Approved  
Alumasc or Equal or Approved Hidden Soffit/Fascia & Rainwater Goods, Colour to be approved  
Metal Window Box to Match Window RAL Colour  
Selected Brick Finish 3 Courses in Brick Type and Colour To Be Approved By The Architects  
Entrance Aluminium Coated Canopy to Match Window RAL Colour



1 Block 4.5 - Ground Floor Plan  
1:100



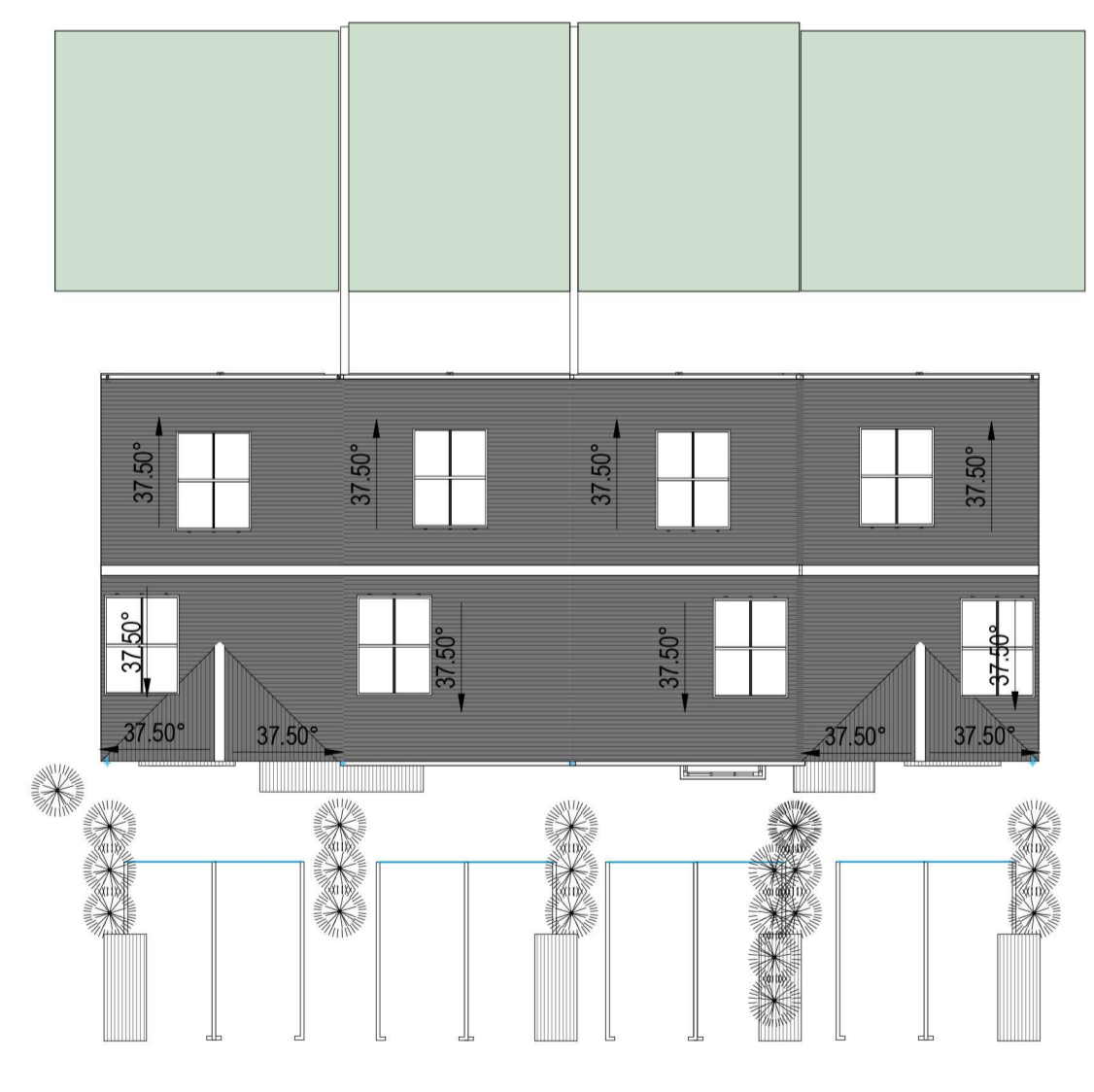
4 Block 4.5 - Rear Elevation  
1:100



6 Block 4.5 - Side Elevation 2  
1:100

Size and Position of PV Panels May Vary with Orientation of Dwelling  
Blue/Black Slate / or Similar Approved  
Alumasc or Equal or Approved Hidden Soffit/Fascia & Rainwater Goods, Colour to be approved  
uPVC Double Glazed Window to be Approved Design. Refer to Spec for U-Value etc.  
Straight Edged Coated Aluminium Cill to Match Window RAL Colour  
Soltherm or Equivalent Pre-Finished External Render To Be Approved By The Architects

Alumasc or Equal or Approved Hidden Soffit/Fascia & Rainwater Goods, Colour to be approved  
Entrance Aluminium Coated Canopy to Match Window RAL Colour



8 Block 4.5 - Roof Plan  
1:200



9 Block 4.5 - 3D View



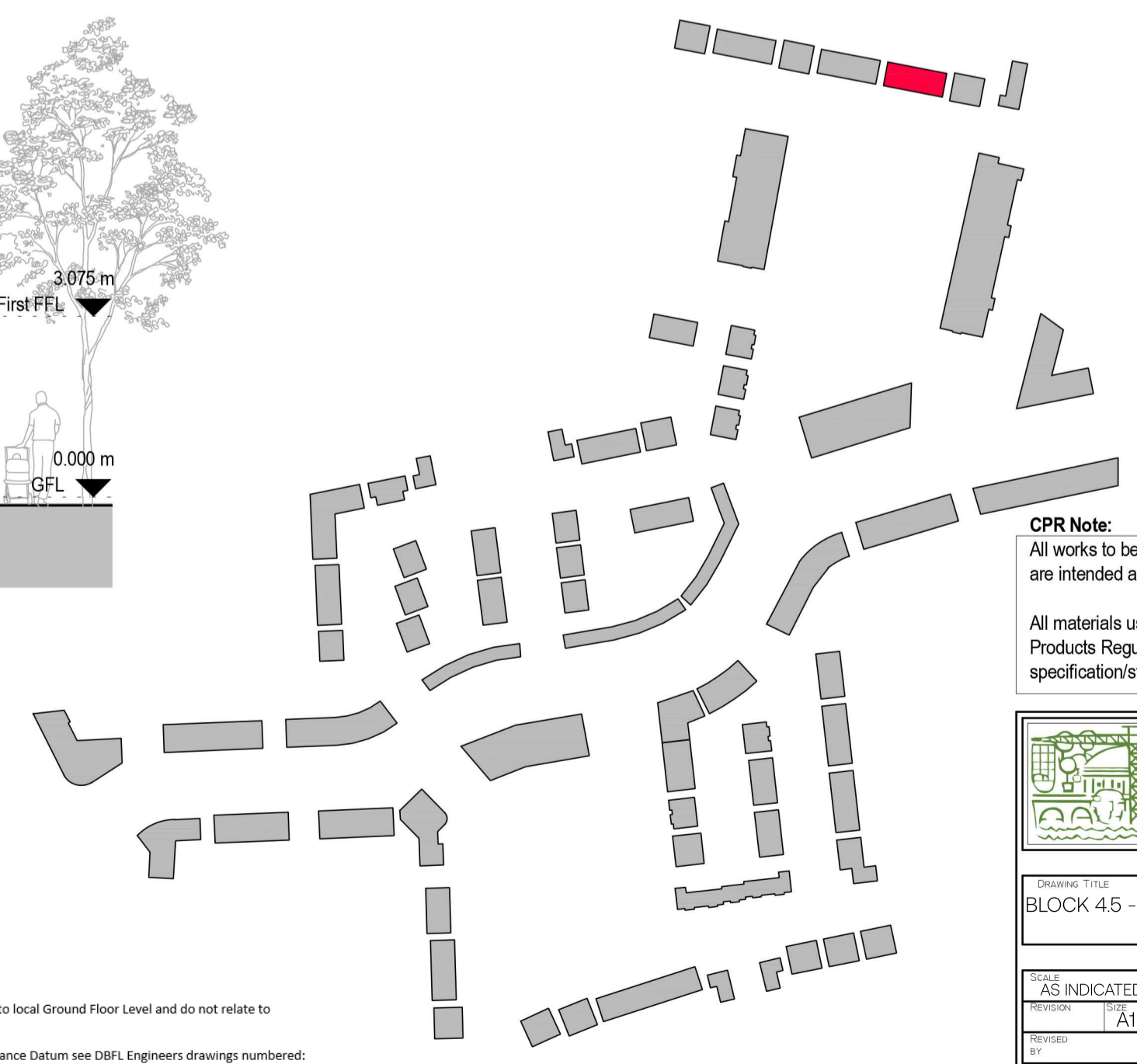
7 Block 4.5 - Section A-A  
1:100

HOUSE TYPE B2.13 / B2.22 / B2.11 / B2.12 TERRACE  
3 BEDROOM / 5 PERSON  
FLOOR AREA 110 M<sup>2</sup>

	Dwelling Type	Gross Floor Area	Minimum Main Living room	Aggregate living area	Aggregate bedroom area of	Storage
Target	3 Bed 5P house	92	13	34	32	5
Proposed	3 Bed 5P house	110	16.9	36.4	34.3	5

PLEASE NOTE:  
Minimum unobstructed living room width 3.8m.  
Main bedroom area 13m<sup>2</sup>, Double room 11.4m<sup>2</sup> (2.8m minimum width), Single 7.1m<sup>2</sup> (2.1m minimum width)

NOTE:  
Levels shown on architectural block plans relate to local Ground Floor Level and do not relate to Ordnance Datum.  
For Finished Ground Floor Levels related to Ordnance Datum see DfEL Engineers drawings numbered: 180002-2000 Roads Layout / 180002-2001 Roads Layout Sheet 1 / 180002-2002 Roads Layout Sheet 2



**CPR Note:**  
All works to be carried out using proper materials which are fit for the use they are intended and for the condition in which they are to be used.  
All materials used in connection with the works to comply with the Construction Products Regulation (EU) No. 305/2011 and the harmonised technical specification/standards that fall within the remit of the CPR No. 305/2011

**van Dijk Architects**  
MILL HOUSE, MILL STREET, DUNDALK, CO. LOUTH  
PH: 042-9354466 FAX: 042-9354460  
INFO@VANDIJKARCHITECTS.COM

DRAWING TITLE  
BLOCK 4.5 - UNITS - B2.11 / B2.12 / B2.13 / B2.22 PLANS, ELEVATIONS & SECTIONS

SCALE AS INDICATED 1:75 PA-BL4.5-100  
DESIGNER: A1 1757-VIA-M3-BL4.5  
DRAWN BY: DW  
DATE: OCTOBER 2021

FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO UNFIGURED DIMENSIONS. ANY DIMENSIONAL DISCREPANCIES MUST BE REFERRED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING REMAINS THE COPYRIGHT OF VAN DIJK ARCHITECTS. IT MUST NOT BE USED FOR ANY PURPOSE BEYOND OR OTHERWISE WITHOUT THE EXPRESS PERMISSION OF THIS PRACTICE. DO NOT COPY OR REDISTRIBUTE THESE DRAWINGS OR ANY ADDITIONAL INFORMATION WITHOUT THE EXPRESS APPROVAL OF vanDijk Architects